

MEMPHIS INTERNATIONAL AIRPORT

2491 Winchester Rd, Memphis, TN 38116

TICKETING LEVEL VALET CANOPY REPAIR

June 21, 2022

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06-07-2022



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20008-T25

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CONSULTANT JOB NO.

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REVISIONS

NO.	DESCRIPTION	DATE

MSCAA NO.
19-1423-00 (19-1423-25)

PROJECT:
TICKETING LEVEL VALET CANOPY REPAIR

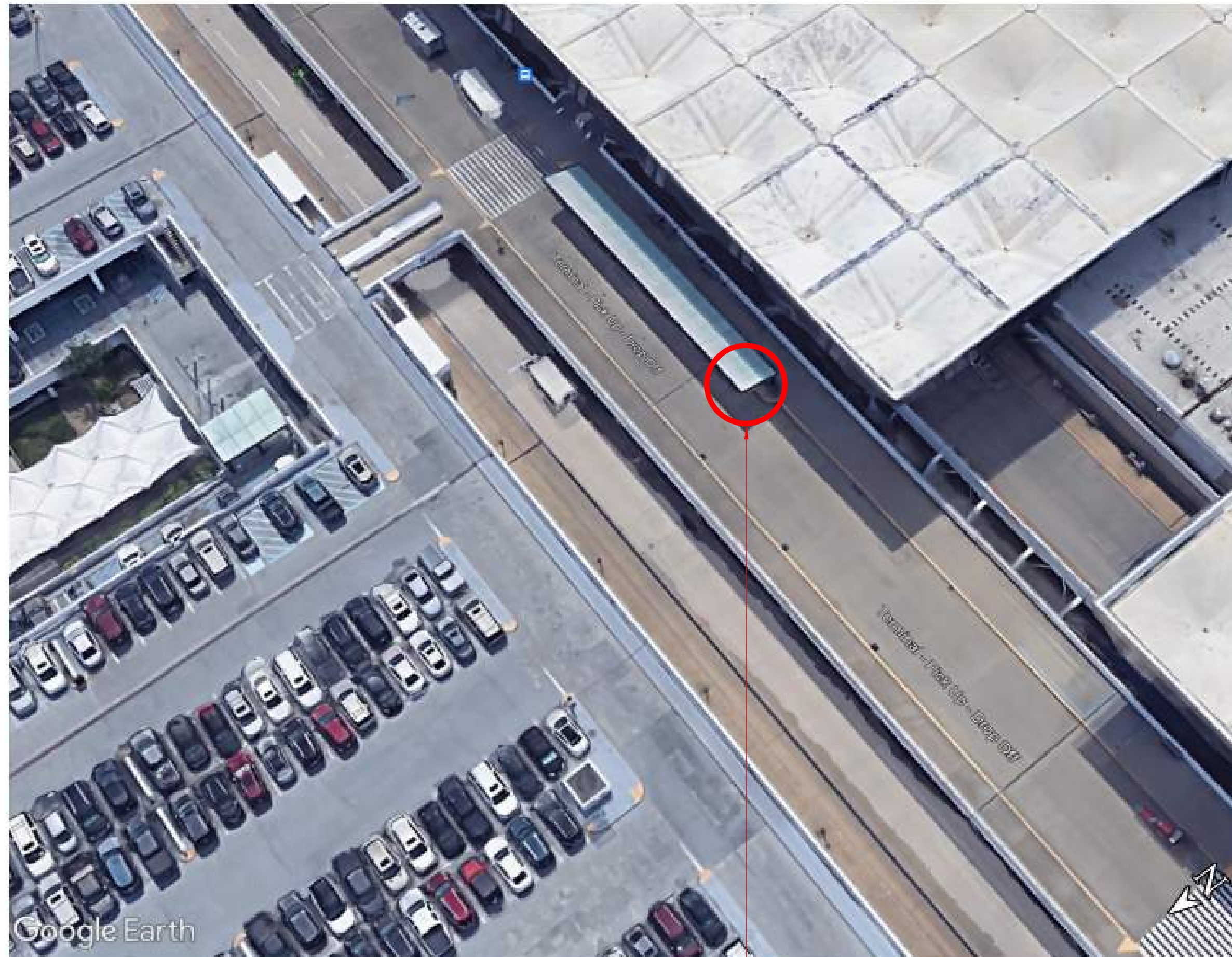
SET:

SHEET TITLE:
COVER SHEET

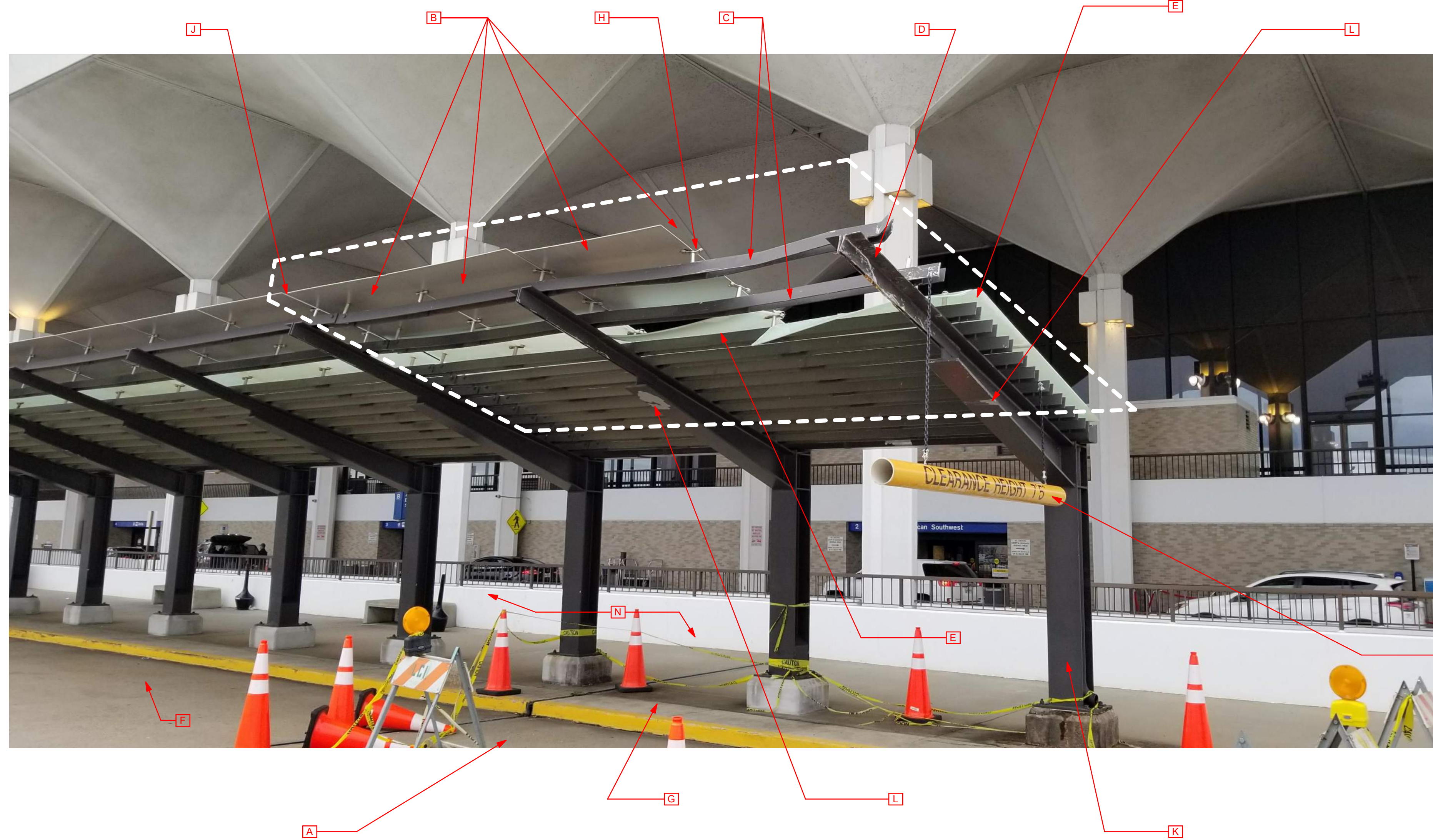
REV. FILE NAME

DATE: 06.21.2022 DWG NO.: A1.1

SCALE



SCOPE OF WORK : RESTORATION OF THE DAMAGED VALET PARKING CANOPY APPROACHING CORNER . REMOVE AND REPLACE DAMAGED COMPONENTS WITH NEW MATERIAL



REPAIR NOTES:

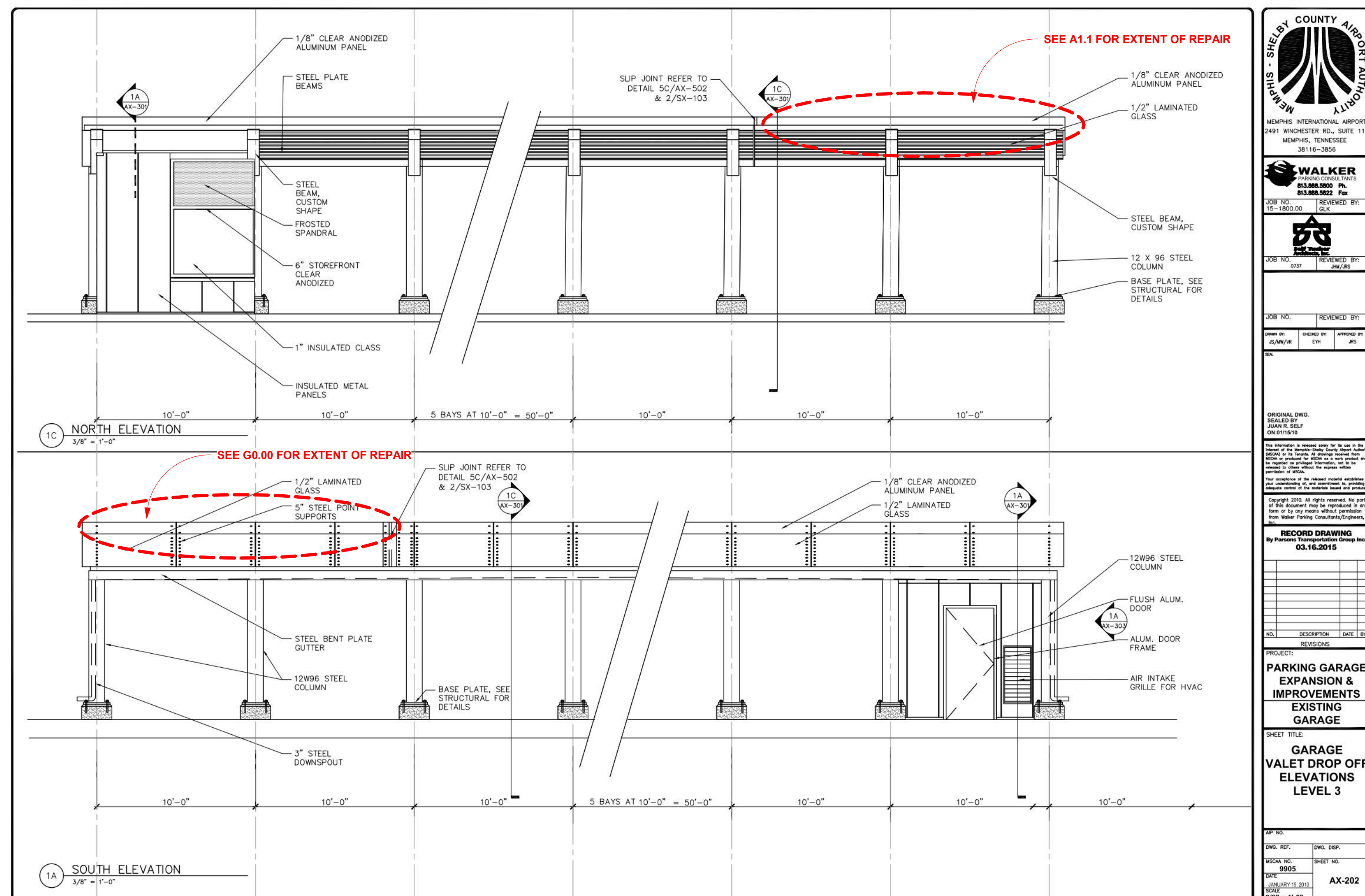
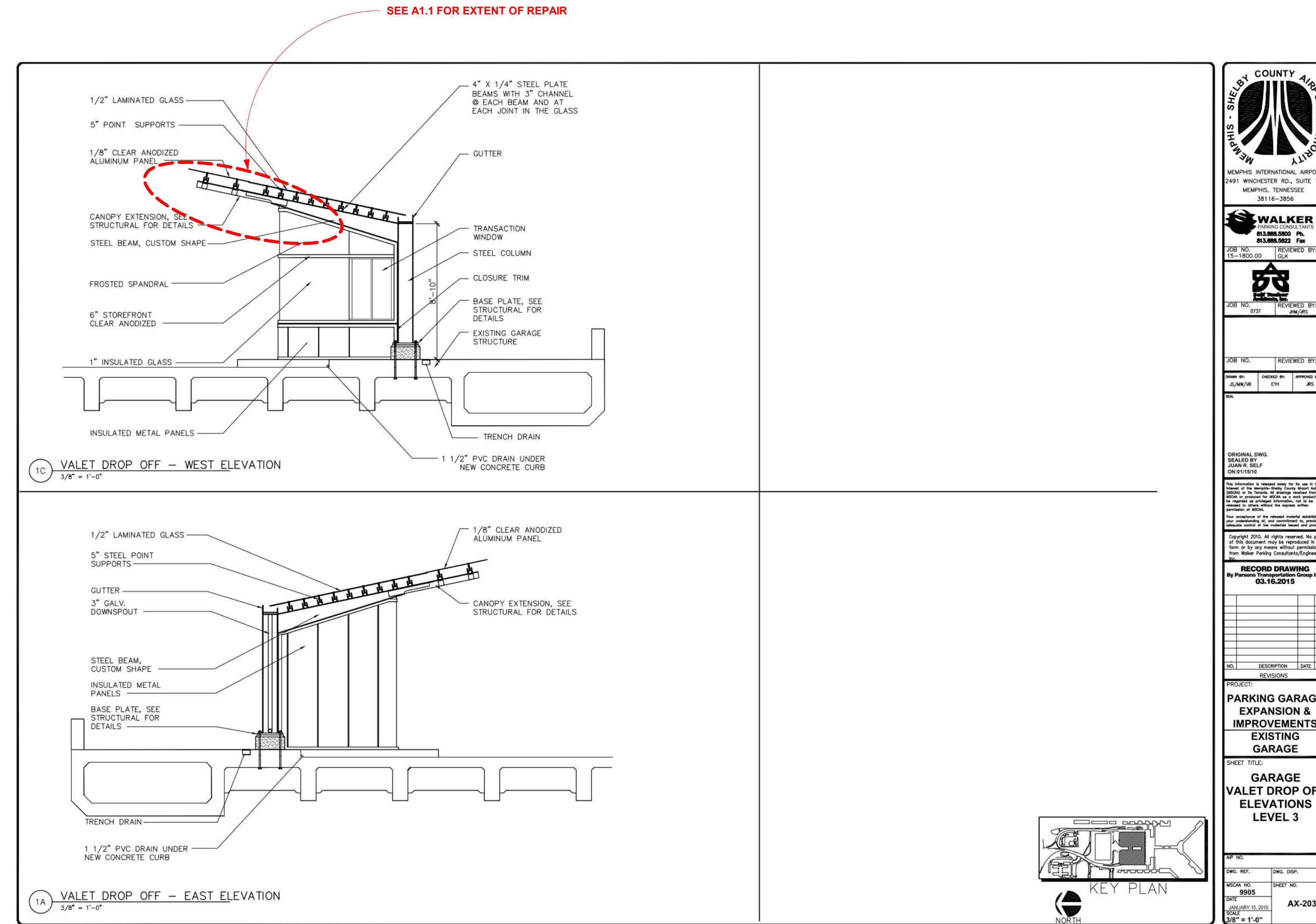
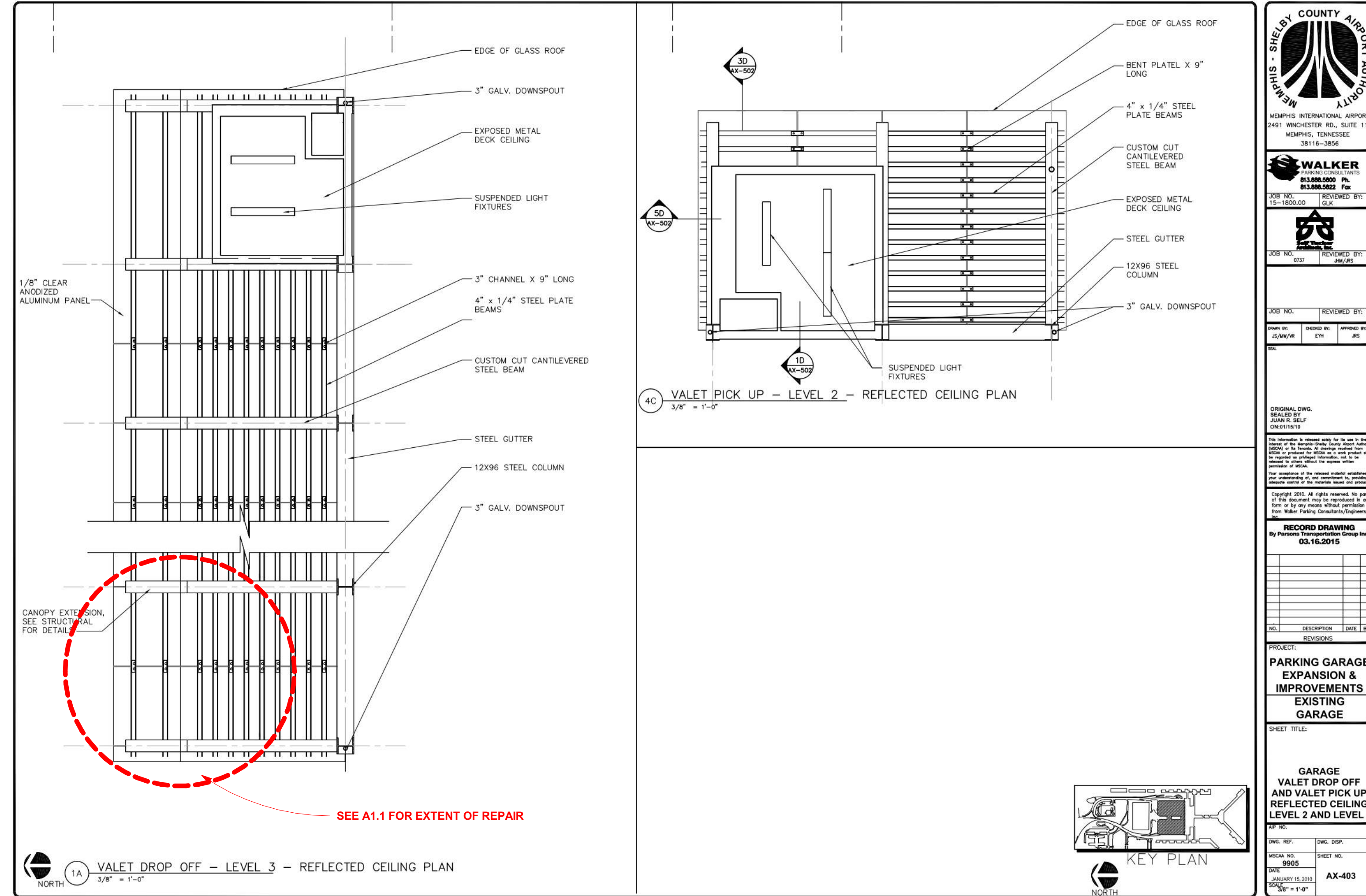
- A. AT THE PROJECT AREA, CONTRACTOR TO PROVIDE CONCRETE JERSEY BARRIERS AND FLASHING CAUTION LIGHTS UNTIL THE COMPLETION OF THE WORK. COORDINATE WITH AIRPORT FOR THE EXACT PLACEMENT AND EXTENT OF THE WORK AREA .
- B. REMOVE AND REPLACE DAMAGED 1/8" CLEAR ANODIZED ALUMINUM ROOF PANEL AND ITS SUPPORT.
- C. REMOVE AND REPLACE DAMAGED STEEL FRAMING MEMBERS AND REPLACE WITH NEW MEMBER OF THE SIZE. SEE DETAIL ON DRAWING A1.3 DETAIL 3
- D. REMOVE ALL DAMAGED COMPONENTS WITHIN THE PROJECT LIMIT UP TO THE EXPANSION JOINT. REPLACE WITH NEW MEMBER OF THE SAME SIZE. PAINT TO MATCH EXISTING.
- E. REMOVE ANY DAMAGED 1/2" LAMINATED GLASS PANELS AND REPLACE WITH NEW OF THE SAME THICKNESS, FINISH, AND SIZE.
- F. MAINTAIN CLEANLINESS OUTSIDE PROJECT LIMITS. NO NAILS OR SCREWS OR ANY SHARP SCRAPS SHALL BE FOUND OUTSIDE PROJECT AREA.
- G. NO DEBRIS, TOOLS SHALL BE LEFT AT THE WORK AREA AT THE END OF EACH WORKDAY. COORDINATE WITH THE AIRPORT AUTHORITY THE HAUL ROUTE OF DISPOSAL TRAFFIC. IT IS OF UTMOST IMPORTANCE TO ENSURE NO CONSTRUCTION DEBRIS SUCH AS PACKAGING MATERIAL OR SHARP OBJECTS BE LEFT IN ANY PUBLIC AREA OR DRIVEWAY.
- H. REMOVE AND REPLACE DAMAGED 5 INCH POINT SUPPORTS.
- I. NOT USED.
- J. UNLESS NOTED OTHERWISE, THE EXPANSION JOINT IS THE LIMIT OF CANOPY REPAIR.
- K. NO WORK AT THE VERTICAL STEEL COLUMN SUPPORT WHERE THERE IS NO VISIBLE DAMAGE.
- L. REMOVE CHIPPED PAINT FROM THE DAMAGED AREAS AND TOUCH UP THE FINISH WITH THREE COATS OF PAINT. COLOR TO MATCH EXISTING.
- M. ADJUST THE CLEARANCE BAR CHAIN TO ENSURE THE PROPER CLEARANCE HEIGHT AS NOTED ON THE SIGNAGE.
- N. DOCUMENT ANY EXISTING DAMAGE AT THE AREA WITHIN AND ADJACENT TO THE WORK AREA TO AVOID ANY DISPUTE OF DAMAGES.

PROJECT NOTES

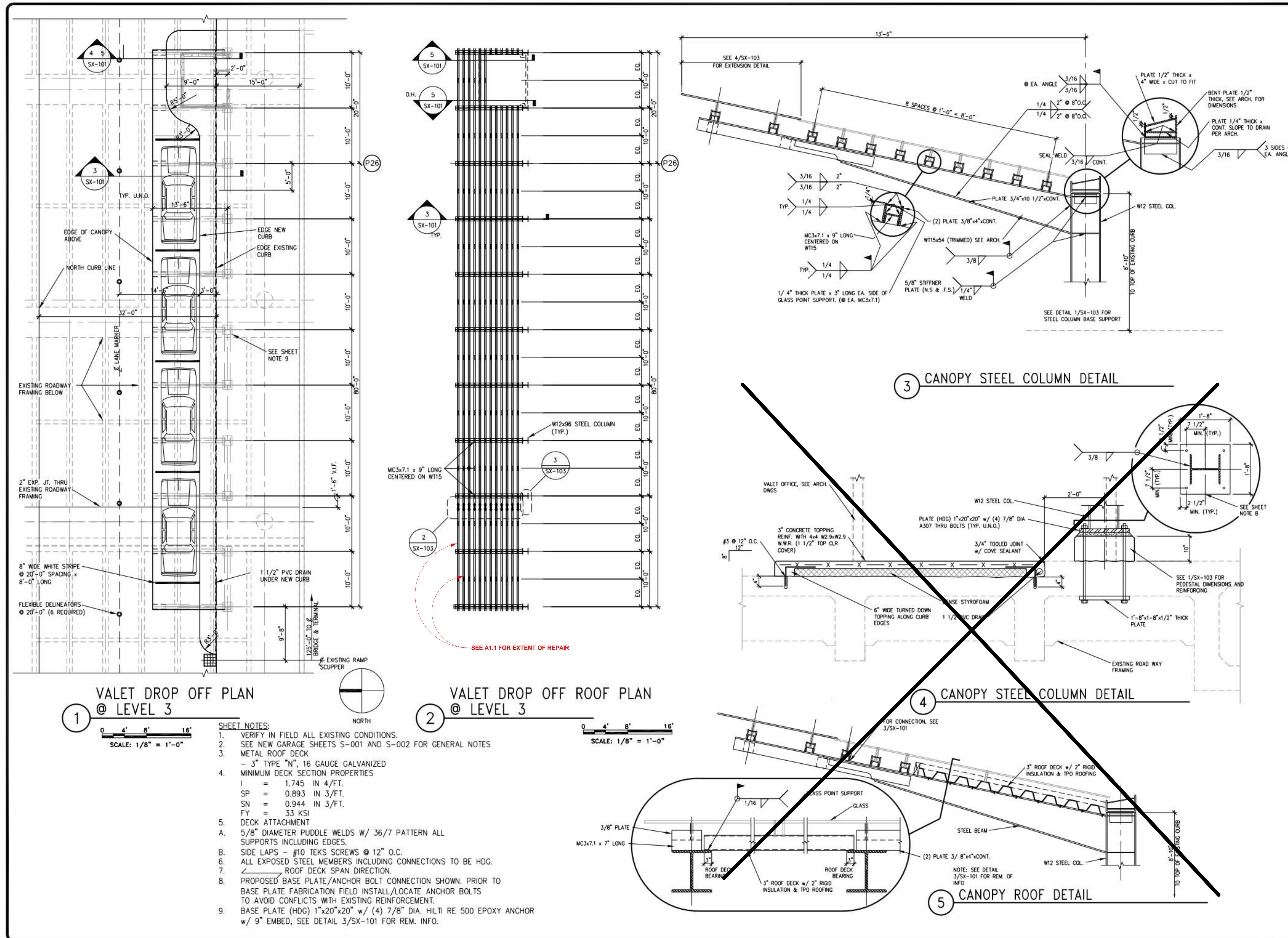
1. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, FIRE PROTECTION, AND LIFE SAFETY CODE ENFORCED BY LOCAL AUTHORITIES. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, LICENSES, ETC., FOR ALL TRADES. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES, AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC., FOR ALL TRADES.
2. CONTRACTOR SHALL SCHEDULE THE WORK TO MINIMIZE DISRUPTION TO NEARBY PEDESTRIAN AND VEHICULAR TRAFFIC.
3. COORDINATE THE COMPATIBILITY OF THE PREPARATION WORK WITH THE REQUIREMENTS OF THE MATERIALS AND PROCEDURES SPECIFIED FOR THE NEW WORK. SCHEDULE ALL PREPARATION WORK TO COINCIDE AS CLOSELY AS PRACTICABLE WITH THE INSTALLATION OF NEW MATERIALS.
4. ANY DAMAGE TO THE HAUL ROUTES OR ACCESS ROUTES SHALL BE CONSIDERED THE RESPONSIBILITY OF THE CONTRACTOR AND HE/SHE SHALL PROMPTLY REPAIR ANY DAMAGE TO ITS ORIGINAL CONDITION, TO THE SATISFACTION OF THE OWNER AND ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER.
5. VERIFY JOB CONDITIONS PRIOR TO BEGINNING WORK. REPORT TO ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH MAY INTERFERE WITH SATISFACTORY COMPLETION OF WORK. RESOLVE ANY DISCREPANCIES PRIOR TO BEGINNING WORK. VERIFY ALL FIELD MEASUREMENTS, FIELD CONSTRUCTION, INSTALLATION CRITERIA, COORDINATE ALL TRADES AND THE METHODS OF CONSTRUCTION. ALL WORK IS TO CONFORM WITH DRAWINGS AND SPECS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION. CONTRACTOR TO VERIFY THE ACTUAL SIZE FOR PROPER INSTALLATION.
6. ENSURE THE PREMISES ARE MAINTAINED CLEAN AND FREE OF DEBRIS DURING WORK. COORDINATE THE FREQUENCY OF REMOVAL WITH OWNER. FINAL CLEANUP IS THE RESPONSIBILITY OF THE CONTRACTOR. REPAIR, PATCH, TOUCH-UP, AND MAINTAIN CLEANING THROUGHOUT THE PROJECT. REMOVE AND DISPOSE OF ALL DEMOLISHED MATERIAL AND OTHER CONSTRUCTION DEBRIS. OWNER'S DUMPSTER(S) OR TRASH CANS SHALL NOT BE USED FOR DISPOSAL OF ANY CONSTRUCTION WASTE. REPAIR GROUND DAMAGE CAUSED BY TRUCK TRAFFIC. CONTRACTOR TO OVERSEE CLEANING AND ENSURE THAT THE PREMISES ARE MAINTAINED AND SECURED DURING CONSTRUCTION. DAILY CLEANUP AND FINAL CLEANUP IS THE RESPONSIBILITY OF THE CONTRACTOR. REPAIR, PATCH, TOUCH-UP, AND MAINTAIN CLEANING UNTIL ACCEPTANCE BY OWNER. OWNER RESERVES THE RIGHT TO REJECT ANY COMPLETED WORK THAT HAS NOT BEEN PROPERLY PROTECTED.
7. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY PROTECTED TO PREVENT DAMAGE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
8. CONTRACTOR'S FIELD SUPERINTENDENT MUST BE PRESENT AND RESPONSIBLE FOR OVERSEEING THE WORK PROGRESS WHEN ANY WORK IS PERFORMED. FOR THE DURATION OF THE PROJECT, CONTRACTOR MUST MAINTAIN AND FURNISH ELECTRONIC DAILY LOG TO PROJECT TEAM AND OWNER DESIGNATED PERSONNEL DAILY. THE LOG DOCUMENTATION SHALL INCLUDE INFORMATION SUCH AS AMOUNT OF WORK COMPLETED, PROGRESS PICTURES, FIELD CHANGES, CONGEALED CONDITIONS, TRANSITION OF MATERIAL, UNFORSEEN DAMAGES, INCIDENTS ETC. THIS INFORMATION SHALL BE INCLUDED AS PART OF THE CLOSEOUT DOCUMENT AT THE END OF THE PROJECT.
9. ALL WORK IS TO CONFORM WITH DRAWINGS AND ITS SPECS. DRAWINGS ARE APPROXIMATE ONLY AND NOT TO BE SCALED FOR INFORMATION. PAYMENT WILL NOT BE MADE TO GENERAL CONTRACTOR ON CHANGES OR EXTRAS UNLESS THEY ARE VERIFIED AND APPROVED BY OWNER.
10. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS OR WHERE DETAIL REFERENCES OR CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY HAVE ASKED FOR AND OBTAINED WRITTEN PERMISSION FROM ARCHITECT AS TO WHICH MATERIAL OR METHOD WILL BE REQUIRED.
11. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING JOB CONDITIONS AND SHALL REPORT TO ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF WORK. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL FIELD MEASUREMENTS, FIELD CONSTRUCTION, INSTALLATION CRITERIA, COORDINATION OF ALL TRADES AND THE METHODS OF CONSTRUCTION.
12. DISRUPTION SHALL BE MINIMAL OUTSIDE PROJECT LIMITS AT ALL TIMES DURING CONSTRUCTION. THE EXACT LIMITS OF THE CONTRACTOR'S STAGING AND STORAGE AREA SHALL BE ESTABLISHED BY THE CONTRACTOR WITH THE APPROVAL OF MSCAA.
13. CONTRACTOR SHALL EXERCISE ALL SAFETY PRECAUTIONS DURING WORK. DO NOT ALLOW WASTE MATERIAL TO COLLECT IN CONCENTRATED BUILDUPS AROUND THE WORK AREA. FURNISH PROTECTION OF THE BUILDING'S CONTENTS AND PERSONNEL AT ALL TIMES. COLLECT AND REMOVE DEMOLITION AND WASTE MATERIAL FROM THE WORK AREA IN AN ORDERLY MANNER.
14. THE AREAS AROUND THE REPAIR WORK WILL REMAIN IN USE DURING THE CONSTRUCTION. THEREFORE, IT IS OF UTMOST IMPORTANCE FOR SAFETY DURING THE WORK. COORDINATE ALL MATERIAL, WORKMEN ACCESS, WITH THE OWNER'S REPRESENTATIVE TO MINIMIZE DISRUPTION OF THE AREA TO MINIMIZE THE THREAT OF LOSS OR DAMAGE TO THE EXISTING FACILITY. THE CONSTRUCTION SHALL NOT COMPROMISE LIFE SAFETY OR FIRE SAFETY REQUIREMENTS. ANY WORK AFFECTING CODE REQUIREMENTS SHALL BE COMPLETED IN THE SAME WORKDAY OR TEMPORARY MEASURES SHALL BE TAKEN TO ASSURE SAFETY COMPLIANCE AT ALL TIMES.
15. UNLESS NOTED OTHERWISE, CONTRACT TIME FOR THE PROJECT SHALL BE 30 DAYS. SEE TERMS AND CONDITIONS IN PROCUREMENT REQUIREMENT FOR INFORMATION ABOUT LIQUIDATED DAMAGES.
16. SHOULD THERE BE A NEED FOR MASONRY OR CONCRETE CUTTING OR DRILLING, IT IS THE RESPONSIBILITY FOR OF THE CONTRACTOR TO PROTECT BOTH CONSTRUCTION WORKERS AND AIRPORT WORKERS FROM SILICA DUST. CONTRACTORS CAN USE TOOLS FROM TABLE 1 OF THE SILICA STANDARD THAT INVOLVE HEPA VACUUMS OR WET METHODS TO PREVENT SILICA DUST FROM BECOMING AIRBORNE.
17. COORDINATE AND OBTAIN APPROVAL FROM OWNER FOR LOCATION OF DUMPSTER, MATERIAL STAGING, ETC. REMOVE CONSTRUCTION AND GENERAL DEBRIS FROM THE WORK AREA. DISCARD ANY SCREWS, METAL SCRAPS, FOOD, WATER BOTTLES, AND MISCELLANEOUS GARBAGE. A COVERED DUMPSTER MAY BE PLACED IN THE FIRE STATION#33 PARKING LOT.
18. CONTRACTOR EMPLOYEES WILL BE ALLOWED TO PARK IN ONE OF THE AIRPORT EMPLOYEE PARKING LOTS.

NO.	DESCRIPTION	DATE

6/15/2022 5:34:44 PM



THE DRAWING ABOVE IS PROVIDED FROM THE AIRPORT'S ARCHIVED RECORDS. IT IS INCLUDED IN THE SET FOR CONTRACTOR GENERAL REFERENCE OF EXISTING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY THE ACCURACY OF EXISTING CONDITIONS.



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MEMPHIS - SHELBY COUNTY AIRPORT AUTHORITY

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JOB NO. REVIEWED BY: KKK

JOB NO. REVIEWED BY:

DESIGNED BY: MCK/SPT CHECKED BY: AC APPROVED BY: GLK

ORIGINAL DWG. SEALED BY: GERALD L. KOSKI ON: 01/15/10

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RECORD DRAWING
 By Parsons Transportation Group Inc.
 03.16.2015

NO.	DESCRIPTION	DATE	BY

PROJECT: **PARKING GARAGE EXPANSION & IMPROVEMENTS EXISTING GARAGE**

SHEET TITLE: **VALET DROP OFF CANOPY PLANS AND DETAILS AT LEVEL 3**

APP. NO. _____

DWG. REF. _____ DWG. DISP. _____

MSCAA NO. 9905 SHEET NO. **SX-101**

DATE: JANUARY 15, 2010

AS NOTED

NO.	DESCRIPTION	DATE

PROJECT: **TICKETING LEVEL VALET CANOPY REPAIR**

SET: _____

SHEET TITLE: **VALET CANOPY STRUCTURAL RECORD DRAWING FOR REFERENCE**

REV. FILE NAME _____

DATE: 08.21.2022 DWG. NO.: A1.3

SCALE: _____

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ARCHITECT JOB NO. 20008-T25

DRAWN BY: TD

PROJ. NO. JG

APPROVED BY: MT

CONSULTANT JOB NO. ---

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MSCAA NO. 19-1423-00 (19-1423-25)

PROJECT: **TICKETING LEVEL VALET CANOPY REPAIR**

SET: _____

SHEET TITLE: **VALET CANOPY STRUCTURAL RECORD DRAWING FOR REFERENCE**

REV. FILE NAME _____

DATE: 08.21.2022 DWG. NO.: A1.3

SCALE: _____



THE DAMAGE IS MAINLY LIMITED TO THE FRONT APPROACHING CORNER AND THE CONNECTED SECONDARY MEMBERS. COORDINATE WITH AIRPORT FOR THE EXACT LIMIT OF THE WORK ZONE TO MINIMIZE DISRUPTION TO THE VEHICULAR TRAFFIC FLOW



FIELD VERIFY THE EXACT EXTENT OF THE ACTUAL DAMAGE AND REPAIR NEEDED TO ENSURE PROPER FITMENT AND SATISFACTORY OVERALL DAMAGE REPAIR. TOUCH UP OR REPAINT THE STEEL MEMBERS TO MATCH EXISTING ADJACENT FINISH



DAMAGED LAMINATED GLASS AND ANY LOOSE FASTENERS OR SHARP METAL SCRAPS SHALL BE REMOVED CAREFULLY SO AS NOT TO SCATTER OVER THE VEHICULAR PATH THAT MAY CAUSE TIRE DAMAGE TO PASSING TRAFFIC.



REMOVE DAMAGED STEEL SUPPORT MEMBERS UP TO THE FIRST EXPANSION JOINT. REPLACE WITH EXACT SAME MEMBER. SEE A1.2 AND A1.3 FOR RECORD OF STRUCTURAL AND ARCHITECTURAL DESIGN BY THE ORIGINAL DESIGNER.



THE FINAL COMPLETION OF THE REPAIR SHALL MATCH THE EXISTING ADJACENT CONSTRUCTION. ADJUST THE CLEARANCE BAR TO ENSURE THE PROPER CLEAR HEIGHT IS MAINTAINED.



REPAIR STEEL SUPPORT EXTENSIONS WHEREVER FEASIBLE. IF REPAIR IS NOT POSSIBLE, CUT AND REPLACE WITH THE SAME ORIGINAL DESIGN. PROTECT THE PEDESTRIAN AND TRAFFIC WHEN CUTTING OR GRINDING IS NECESSARY. COORDINATE WITH AIRPORT FOR APPROVAL WHEN WELDING IS NECESSARY TO AVOID PEDESTRIAN EXPOSURE OF BRIGHT LIGHT FROM WELDING ACTIVITIES.

ARCHITECT JOB NO. 20008-T25	
DRAWN BY TD	
CHECKED BY JG	
APPROVED BY MT	
CONSULTANT JOB NO. ---	
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PROJECT:
TICKETING LEVEL VALET CANOPY REPAIR

SET:

SHEET TITLE:
PHOTO REFERENCE

DATE: **08.21.2022** DWG NO. **A1.4**